

AGENDA
VALLEY CITY COUNCIL
Tuesday, July 21, 2026
City Hall
203 North Spruce
Valley, NE 68064
4:30 PM

1. **Call to Order**
2. **Roll Call**
3. **Pledge of Allegiance**
4. **Proof of Publication**
5. **Visitors/Correspondence**

Anyone desiring to speak on any item or issue not on the agenda or any item on the agenda that does not include a public hearing may do so, but shall be limited to three (3) minutes. Persons should identify themselves by name and address. Persons speaking should not expect the Planning Commission to engage in back-and-forth dialogue regarding their comments. Unless an agenda item includes a public hearing, no person may speak during the business portion of the meeting; provided, however, persons speaking during a public hearing are limited to between five (5) and twenty (20) minutes.

The public is advised that a copy of the Open Meetings Act is located on the north wall of the Council Chamber, and one copy of all reproducible written material to be discussed at this meeting is available for examination or copying.

6. **Approval of Agenda**
7. **Consent Agenda**

All agenda items on the consent agenda will be acted on in a single motion. Consent agenda items are being forwarded to the Commission Members. Any individual item may be removed by a commission member for special discussion and consideration.

7.A. Approve Minutes of June 16, 2026 Planning Commission meeting

8. **Public Hearings**

8.A. Falcon Business Park II consideration and approval for application for a preliminary plat:

The City Council reserves the right to enter into an executive session at any time during the meeting, in accordance with the Nebraska Open Meetings Act, even though the closed session may not be indicated on the agenda.

It is the intention of the City Council to take up the items on the agenda in sequential order. However, the City Council reserves the right to take up matters in a different order to accommodate the schedules of the City Council members, persons having items on the agenda, and the public.

- Open Public Hearing
- Public comments: proponents and opponents
- Close Public Hearing
- Discussion and questions by Planning Commission Members
- Vote on recommendation to City Council

8.B. Falcon Business Park II consideration and approval for application for a final plat:

- Open Public Hearing
- Public comments: proponents and opponents
- Close Public Hearing
- Discussion and questions by Planning Commission Members
- Vote on recommendation to City Council

9. Adjourn

The City Council reserves the right to enter into an executive session at any time during the meeting, in accordance with the Nebraska Open Meetings Act, even though the closed session may not be indicated on the agenda.

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**NOTICE OF MEETING
PLANNING COMMISSION
CITY OF VALLEY, NEBRASKA**

Notice is hereby given that a meeting of the City of Valley Planning Commission will be held on Tuesday, July 21, 2026, at 4:30 p.m., at Valley City Hall. PUBLIC HEARINGS will be held on the following:

1. Falcon Business Park II:
 - Consideration and approval of application for preliminary plat.
2. Falcon Business Park II:
 - Consideration and approval of application for final plat.

An agenda kept continually current shall be available for public inspection at Valley City Hall.

Larry Bottger, Chair
City of Valley, Planning Commission

7/10 ZNEZ

The Daily Record

Proof of Publication

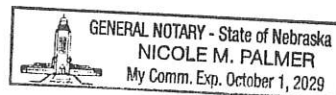
JASON W. HUFF, Publisher

UNITED STATES OF AMERICA,
The State of Nebraska,
District of Nebraska,
County of Douglas,
City of Omaha } ss.

JASON W. HUFF, being duly sworn, deposes and say that they are the PUBLISHER and/or MANAGING EDITOR of THE DAILY RECORD, of Omaha, a legal newspaper, printed and published daily in the English language, having a bona fide paid circulation in Douglas County in excess of 300 copies, and a general circulation in Sarpy, Lancaster, Cass and Dodge Counties, printed in Omaha, in said County of Douglas, Nebraska for more than fifty-two weeks last past; that the printed notice here-to attached was published in THE DAILY RECORD, of Omaha, for 1 consecutive weeks on:

7/10/26

That said Newspaper during that time was regularly published and in general circulation in the County of Douglas, and State of Nebraska.



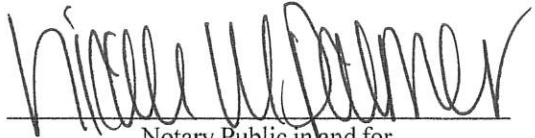
Publisher's Fee \$26.00

Additional Copies \$

Filing Fee \$

Total \$26.00


Subscribed in my presence and sworn to before me this JULY 10 2026


Notary Public in and for
Douglas County, State of Nebraska

CITY OF VALLEY
VALLEY PLANNING COMMISSION MINUTES
June 16, 2026

1 and 2. **Roll Call and Call to Order:** Larry Bottger, Chairman, Kyle Anderson, Mark Conrey, Brian Foutch, Danielle Lowry, Jeremy Mayer, and Greg Sunde. Absent: Scott Burke, Jim Tomanek. Also present: City Administrator Mike Gorman, Deputy Clerk Jon Barnhart, City Attorney Matt Munderloh, City Engineer Greg Perry, and Building Inspector Gabe Evans. Larry Bottger called the meeting to order at 4:30 pm.

Member Foutch noted the location of the open meetings act, and stated one copy of all reproducible written material to be discussed at this meeting is available for examination or copying.

3. **Pledge of Allegiance:** The Pledge of Allegiance was recited.

4. **Proof of Publication:** The Proof of Publication was on the desk.

5. **Visitors/Correspondence:** No one spoke.

6. **Approval of Agenda:** Member Foutch moved to approve the agenda. Anderson seconded. YES: Anderson, Bottger, Conrey, Foutch, Lowry, Mayer, and Sunde. NO: No one. ABSENT: Burke, Tomanek. Motion carried.

7. **Consent Agenda:** Member Conrey moved to approve the consent agenda. Sunde seconded. YES: Anderson, Bottger, Conrey, Foutch, Lowry, Mayer, and Sunde. NO: No one. ABSENT: Burke, Tomanek. Motion carried. Items on the consent agenda: March 17, 2026 meeting minutes.

8. Public Hearings

Public Hearing for consideration and approval of the Melvin Sudbeck Homes, Inc. application for a change in zoning and change of future land use map for the purpose of rezoning property for a proposed development that will provide 2 multi-family and 328 single-family residential lots.

Chairman Bottger opened the public hearing.

Torrey Bannister, 20244 Pinkney St., Elkhorn, NE 68022, a King Lake property owner and president of the King Lake Property Owner's Association, addressed the Planning Commission regarding concerns about the proposed development and its potential impact on King Lake residents. Concerns included increased stormwater runoff, strain on existing drainage infrastructure, added traffic congestion, longer emergency response times, noise, changes to the character of King Lake, and utility and infrastructure costs. He also questioned sewer and water capacity, whether future upgrades would be needed, and whether existing taxpayers could be responsible for related costs. Mr. Bannister raised concerns about construction impacts, where subdivision stormwater runoff would discharge, and whether runoff would increase water levels in King Lake. He asked about existing and proposed runoff calculations, the amount of fill to be

imported, finished elevations compared to neighboring properties, public review of the drainage report before approval, and assurances that King Lake residents would not experience increased runoff. He also asked whether engineering documentation could show the development would not increase flood elevations, water levels or flood duration in the King Lake area during 10-year, 50-year, or 100-year storm events; how many cubic yards of fill would be brought onto the 115-acre site; where displaced stormwater would be stored or redirected; and how current farmland runoff compares to projected runoff after construction of the homes, roads, driveways, and multi-family units. He further asked whether stormwater runoff would enter King Lake, its drainage system, or connected waterways; what detention ponds, retention basins, drainage channels, pumps, culverts, or other stormwater facilities would be constructed; and who would be responsible for maintaining them. He asked whether an independent third-party engineering review had been performed on the drainage report and floodplain analysis and whether those documents would be available for public review before final approval. He also asked what impact the development could have on groundwater levels, drainage patterns, and properties surrounding King Lake during prolonged wet periods; what would happen if the drainage system, pump station, detention ponds, or other stormwater infrastructure failed during a major rain event or when the Elkhorn River is at flood stage; and what legal and financial responsibility the developer would accept for future flooding, drainage issues, or property damage caused by the development. He asked what protections would be provided to existing King Lake residents and whether the developer would commit to any additional improvements necessary to protect King Lake, including drainage upgrades, backflow prevention, pumping capacity, outlet improvements, or dredging if future engineering studies show they are needed. He also asked whether the developer would provide a written guarantee, supported by engineering data, that King Lake residents would not experience increased flooding, water levels, drainage problems, or flood duration because of the development. Based on the information currently provided, he stated that he could not support the development. He stated he can provide copies of the questions to the Planning Commission by email.

Jim Lang, Attorney, 8526 S Street, representing developer Melvin Sudbeck Homes, Inc., addressed the Planning Commission and provided an overview of the project. He accepted responsibility for not holding a neighborhood meeting and stated that he had not anticipated the level of concern. He said the developer would be willing to meet with neighbors to discuss their concerns and noted that drainage and traffic studies had been completed. He stated that the developer wants to be a good neighbor, provide needed housing, complete the project properly, and address residents' concerns. He also stated that the developer does not want to create current or future problems for property owners. Mr. Lang explained that the request before the Planning Commission included three parts: a change to the future land use map from low-density residential to medium-high-density residential for R-2 zoning; rezoning from transitional agricultural to R-2 medium- to high-density residential; and approval of the preliminary plat for a subdivision consisting of 330 lots, including 325 single-family lots. He stated that the development would be completed in two phases and outlined the process. He also noted that there is no current plan for the multi-family lots, which would be addressed as the subdivision matures and develops. Regarding the future land use plan, he referenced the City Engineer's recommendation report and stated that the 2018 zoning was based on the lack of public sanitary sewer and water service in the area. He said the Catalina development's extension of infrastructure now supports changing the zoning to medium-high-density residential. Mr. Lang also addressed concerns about R-2 density and explained the acreage allocation for multi-family residential, single-family residential, the lake, and common areas. He

stated that the development's goal is to provide affordable housing, with denser, smaller single-family lots expected to be in the \$325,000 to \$350,000 range. He discussed proposed amenities, including a walking trail and public lake; explained permitted and prohibited uses of the lake; and stated that the homeowners association would be responsible for lake maintenance. He also discussed the developer's waiver requests related to street length and front yard setback requirements.

Josh Siel, 3930 South 147th St., Omaha, NE 68144, with FoleyShald Engineering, addressed the Planning Commission regarding drainage and traffic concerns. Mr. Siel stated that the proposed drainage plan includes 20-foot ditch sections and easements along the north property line and the southwest lots to convey water from rear yards. Member Bottger asked whether all drainage would flow into the lake, and Mr. Siel confirmed that it would. Member Conrey asked whether the central lake is currently part of King Lake, and Mr. Siel stated that it is not. Member Conrey clarified that a ditch would be constructed to convey water without directing it into, or affecting, King Lake, and Mr. Siel further explained the process. Member Conrey stated that concerns remain because of uncertainty about the development and how it has been described. Mr. Siel stated that professional engineers completed the stormwater modeling using modeling software and that the City Engineer reviewed it. Member Sunde asked whether the development would be built to the same height as Catalina on the east end adjacent to King Lake, noting that his main concern was how the elevation could affect water flow toward King Lake. Member Bottger asked whether anyone representing Mr. Sudbeck was present to address the issues, and it was stated that Mr. Lang and Mr. Siel were attending on Mr. Sudbeck's behalf because he was unable to attend. Member Bottger expressed concerns about the development and stated that he would like to delay both requests until the developer has met with residents. He asked City Attorney Munderloh whether he could make a motion to delay both requests, and the City Attorney outlined procedural options. After further discussion, Attorney Lang elected to continue the public hearing to address the concerns, lay the matter over, and schedule a meeting with property owners within the next week or two. City Attorney Munderloh clarified that the public hearings would need to be re-noticed, and Attorney Lang confirmed. Member Bottger then asked for public comments that differed from those already presented.

Jeff Allen, 623 N. Spruce St., Valley, NE 68064, addressed the Planning Commission and provided photographs that he stated contradicted information submitted by the developer. Member Bottger stated that Mr. Allen should provide his materials to the developer. As Mr. Allen discussed his experience living in the area during flooding events, Member Bottger stated that the Planning Commission understood his point but asked members of the public to limit comments to information not already covered. Member Conrey asked what was meant by the two multi-family dwellings and whether they would be apartments, noting that the term "multi-family" was unclear. Mr. Allen also raised concerns about fire protection because the development area is within Waterloo's jurisdiction, as well as concerns that roads and ditches are not wide enough and that traffic would increase.

Marian Perkins, 400 W Meigs St., Valley, NE 68064 addressed the Planning Commission regarding traffic issues due to the growth in Valley. She mentioned the various developments that are at a standstill. She expressed that Valley cannot handle a new addition. She asked if there are timelines for developments to be started and finished or if they are going to sit empty for years. She

referenced Timber Shores and Bluewater regarding lots and truck drivers going down Meigs Street more frequently at higher speeds. She reiterated her concerns with traffic.

Shawn Weyh, 6303 N 252nd St., Douglas County 68064 addressed the Planning Commission and spoke about flooding concerns and potential impacts from the development such as complaints from neighbors about smells from horse manure or kids getting hurt in her pasture. Member Conrey asked if anyone has ever talked about public safety, fire and what impact it is going to have to which Attorney Lang stated it will be addressed. Member Conrey continued stating public safety concerns should be addressed or have an answer due to the length of time this development has been worked on. Attorney Lang stated he represents Waterloo Fire as their attorney and they are concerned about public safety as well. Ms. Weyh stated she works from home and no one has ever come to her house to ask questions or how she felt about the development. Member Foutch asked if she did get notified to which she confirmed.

Keaton Pressler, 6620 N 246th St., Douglas County 68064 addressed the Planning Commission about King Lake being dry and the lake only filling up during an extreme event. There will be spillover during an extreme event. King Lake is private property, and the developer has no right to use it for runoff. He asked what the developer owns in King Lake. He spoke about his property and what potential impacts are from spillovers from the development after heavy rain. He mentioned the flow not having a smooth transition to the Elkhorn River.

Ed Noyes, 6556 NW 252nd St., Douglas County 68064 addressed the Planning Commission with procedural concerns. He noted that his understanding was everything is preliminary and nothing major can happen to which Member Bottger provided clarification on the process. There was more discussion on the procedural steps needed before final approval and if residents within 300 feet of the development decide to protest. Mr. Noyes stated residents are prepared with petitions but came to the meeting to gain more information on what is happening. He stated there are traffic concerns even prior to Catalina development or this development to which Member Bottger agreed. There was discussion on the number of multi-residential units due to it being unclear and Mr. Noyes requested more time to learn more about the development. He stated that he was told he could get on the city website and find the information. He tried and was not successful. City Administrator Mike Gorman stated the number of units is 620.

Jim Thiessen Jr., 7506 N 285th Circle, Valley, NE 68064 addressed the Planning Commission with questions. He asked who is backing Mr. Sudbeck on the development to which Member Bottger stated the Planning Commission could not get into that. Mr. Thiessen stated there should be no more apartments in the community and there should be nothing but single-family homes. He brought up infrastructure and school concerns and stated that he understands growth is coming but there needs to be a smart approach to it.

Chairman Bottger closed the public hearing.

Attorney Jim Lang addressed the Planning Commission and reiterated they are happy to meet with residents to answer questions. He discussed some options moving forward such as withdrawing the applications to meet with residents or continuing with the meeting, deferring to what the Planning Commission preferred. Member Bottger recommended withdrawing the application to

which Attorney Lang agreed. He stated he will set up a meeting with the neighbors in the next couple of weeks or 30 days. Attorney Lang then withdrew both items on the agenda.

Lori Laster, 8901 S. 154th St., Omaha, NE 68138 with the Papio-Missouri River Natural Resources District addressed the Planning Commission with the some of the same concerns recommending delay of any approval. She stated she would be willing to participate in any meetings to address the flooding concerns.

Member Bottger stated both items are withdrawn.

10. Adjourn: Member Bottger moved to adjourn. Conrey seconded. YES: Anderson, Bottger, Conrey, Foutch, Lowry, Mayer, and Sunde. NO: No one. ABSENT: Burke, Tomanek. Motion carried. Adjourned at 5:17 p.m.



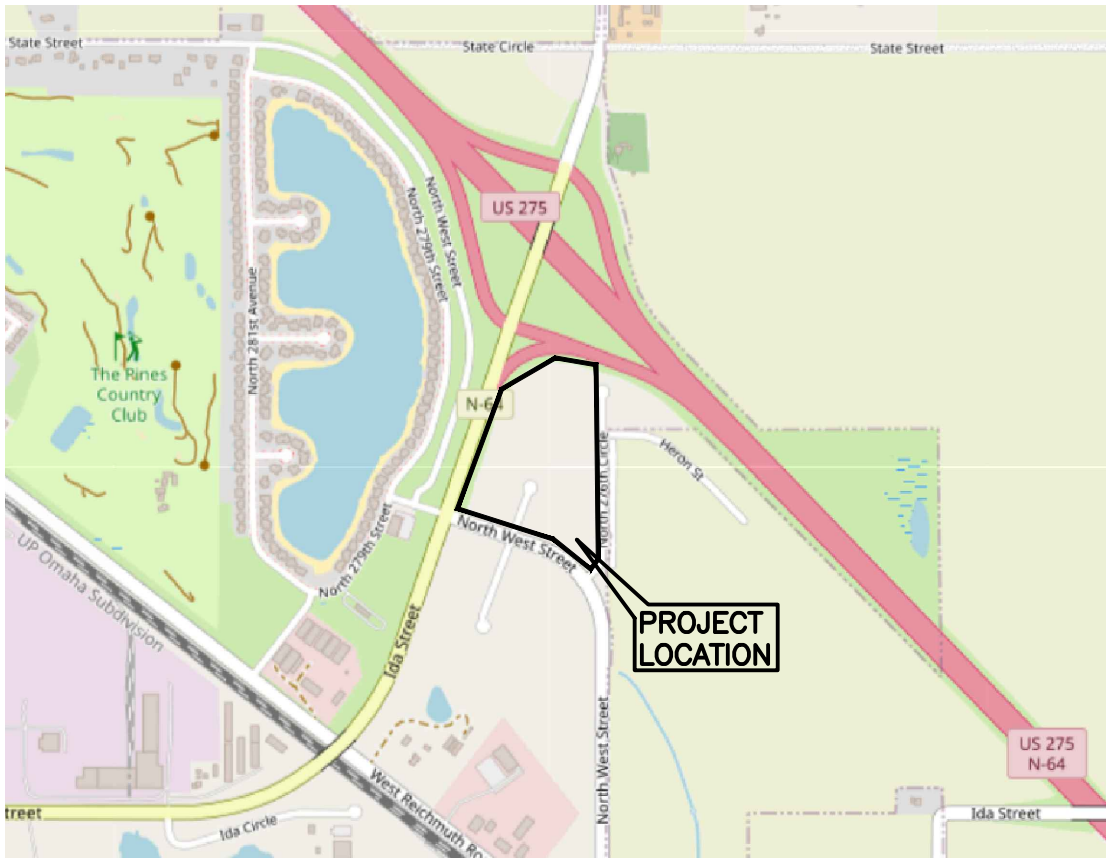
Larry Bottger, Chairman

Jonathan Barnhart, Deputy City Clerk

FALCON BUSINESS PARK II

LOTS 1 THROUGH 28, INCLUSIVE, AND OUTLOTS A & B
BEING A PLATTING OF PART OF THE EAST HALF OF SECTION 25, TOWNSHIP 16 NORTH,
RANGE 9 EAST OF THE 6TH P.M., DOUGLAS COUNTY, NEBRASKA

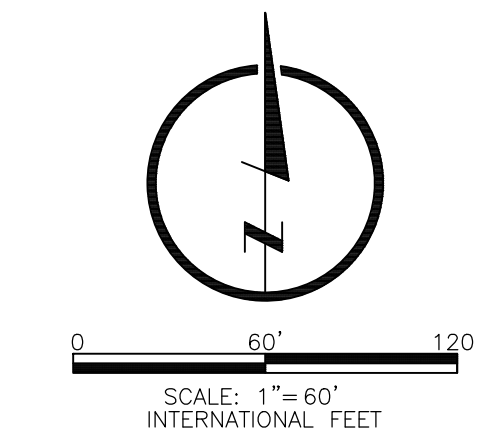
LOCATED IN:
SE 1/4, NE 1/4, SEC. 25-16-09
NE 1/4, SE 1/4, SEC. 25-16-09



LAMP
RYNEARSON

LAMPRYNEARSON.COM

OMAHA, NEBRASKA
14710 W. DODGE RD. STE. 100 (402) 496-2498
NE AUTHORIZATION NO.: CAD130
FORT COLLINS, COLORADO
4716 INNOVATION DR. STE. 100 (970) 226-0342
KANSAS CITY, MISSOURI
8001 STATE LINE RD. STE. 200 (816) 361-0440
MO AUTH. NO.: E-2013011903 / LS-2015043127



LEGEND

- BOUNDARY LINE
- LOT LINE
- EXISTING LOT LINE
- SECTION LINE
- MONUMENT SET (5/8" REBAR W/ 1 1/4" YPC STAMPED LS-498)
- MONUMENT FOUND (5/8" REBAR) UNLESS OTHERWISE NOTED
- SECTION CORNER
- RECORD DIMENSION

NOTES

- ALL DISTANCES ARE SHOWN IN DECIMAL FEET.
- ALL DISTANCES SHOWN ALONG CURVES ARE ARC DISTANCES NOT CHORD DISTANCES.
- LOTS 1 THROUGH 18 AND LOT 28 WILL HAVE NO DIRECT VEHICULAR ACCESS TO IDA STREET AND U.S. HWY 275.
- OUTLOTS ARE FOR SITE CIRCULATION.
- ALL EXISTING EASEMENTS ARE NOT BEING REDEDICATED AND ARE SHOWN FOR REFERENCE ONLY.
- ALL PROPOSED EASEMENTS WILL BE RECORDED VIA SEPARATE RECORDED INSTRUMENTS.
- NEW EASEMENTS SHOWN HEREON MAY BE SUBJECT TO CHANGE. REFER TO THE FINAL EASEMENT RECORDED DOCUMENT FOR THE OFFICIAL LOCATION.

PARCEL AREA TABLE		PARCEL AREA TABLE	
PARCEL #	AREA (SF)	PARCEL #	AREA (SF)
1	4581	19	6646
2	4610	20	6483
3	4639	21	10686
4	4668	22	10519
5	4697	23	5787
6	5944	24	5516
7	6074	25	5338
8	4934	26	5273
9	4802	27	5325
10	7698	28	387491
11	7741	OUTLOT AREA TABLE	
12	8760		
13	8322	PARCEL #	AREA (SF)
14	6591	A	22329
15	6240	B	32828
16	5889		
17	5538		
18	5379		

FLOOD_ZONE

ZONE AO (WITH 2-FOOT FLOOD DEPTH)
SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD.
FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY SHEET FLOW ON SLOPING TERRAIN). AVERAGE DEPTHS. FOR AREAS OF ALLUVIAL FAN FLOODING. VELOCITIES ALSO DETERMINED AS ILLUSTRATED BY FLOOD INSURANCE RATE MAP (FIRM), DOUGLAS COUNTY, NEBRASKA.
MAP NUMBER 31055C0153H
MAP EFFECTIVE DATE: DECEMBER 2, 2005
COMMUNITY NUMBER: 310078 0153 H

FLOOD ZONE REQUIREMENTS MAY BE SUBJECT TO CHANGE OR MODIFICATION BY THE LOCAL GOVERNING AUTHORITY. CONTACT THE LOCAL FLOOD PLAIN MANAGER OR OTHER APPROPRIATE OFFICIAL TO DISCOVER LOCAL ORDINANCES OR CHANGES IN REGULATIONS, FUTURE OR PROPOSED.

CONTROL NOTE

- HORIZONTAL DATUM IS BASED ON THE DOUGLAS/SARPY COUNTY LOW DISTORTION COORDINATE SYSTEM.
- VERTICAL DATUM IS BASED ON NAVD88 (GEOID-12A).

ZONING

SEC. 5.15 C-3 HIGHWAY COMMERCIAL DISTRICT

USE	LOT AREA	LOT WIDTH	A FRONT YARD (FT)	B REAR YARD (FT)	C SIDE YARD (FT)	MAX. HEIGHT (FT)	MAX BLDG COVERAGE	MAX IMPERVIOUS COVERAGE
PERMITTED USES	(3)	-	25 (4)	(2)	(1)	45	40%	75%
CONDITIONAL USES	(3)	-	25 (4)	(2)	(1)	45	40%	75%
MULTI-FAMILY DWELLINGS	(3)	-	25 (4)	(2)	(1)	45	40%	75%
ACCESSORY STRUCTURES	-	-	25 (4)	(2)	(1)	45	-	-

- NONE, EXCEPT THAT WHEN ADJACENT TO ANY RESIDENTIAL DISTRICT, THE SIDE YARD SETBACK SHALL BE 25 FEET.
- NONE, EXCEPT THAT WHEN ADJACENT TO ANY RESIDENTIAL DISTRICT, THE REAR YARD SETBACK SHALL BE 25 FEET, UNLESS THERE IS AN ALLEY BETWEEN THE TWO, IN WHICH CASE THE REAR YARD SETBACK SHALL BE 5 FEET.
- MINIMUM LOT AREA TO BE CALCULATED BASED UPON MAXIMUM LOT COVERAGE, BUILDING FOOTPRINT, AND REQUIRED ANCILLARY USES LIKE PARKING AND LANDSCAPING.
- A FRONT YARD SETBACK OF 25 FEET IS REQUIRED ONLY WHEN NO PARKING IS PRESENT IN THE FRONT YARD. IF PARKING IS LOCATED IN THE FRONT YARD, THEN FRONT YARD SETBACK IS MINIMUM OF 50 FEET.

PRELIMINARY
PLAT

FALCON BUSINESS PARK II
VALLEY, DOUGLAS COUNTY, NEBRASKA



Know what's below.
Call before you dig.

REVISIONS

DESIGNER / DRAFTER

DAN MARTINEZ / RACHEL RENNECKER

DATE

6/19/2026

PROJECT NUMBER

0126053

BOOK AND PAGE

SHEET

1 OF 1

APPLICATION FOR A CHANGE OF ZONING

Valley, Nebraska

Date 6-19-2026

Form must be filled out completely before acceptance of this application for processing. Please print.

Applicant's Name Gibbs Land Development LLC Telephone No. 402 510-2537

Applicant's Address 4920 "K" Street Omaha, NE 68117

Present Use of Subject Property Vacant

Desired Use of Subject Property Commercial

Present Zoning C3-Highway Commercial Requested Zoning C3 - Highway Commercial - NO CHANGE

Legal Description of Property Requested to be rezoned _____

Area of Subject Property, Square Feet and/or Acres _____

How are Adjoining Properties Used (Actual Use)

North _____

South _____

East _____

West _____

If Exhibits are furnished, please describe and enumerate. (Furnish Plot or Site Plan showing existing and proposed structures, easements, water courses, curb cutbacks, etc.)

The Zoning Administrator, who may be accompanied by others is hereby authorized to enter upon the property during normal working hours for the purpose of becoming familiar with the proposed situation.

Justification

You must justify your request. Questions 1 through 4 must be answered completely. Use separate sheet if necessary.

1. What is the general character of the area? Describe.
2. Can soil conditions support the kinds of development in the proposed zoning district? What is the soil classification of the area?
3. What type of sewer and water system will be used?
4. How will the proposed Zoning District affect traffic in the area? Will streets or roads need to be updated for access to the area? If yes, what will the requirements be?

Signature of Owner _____ or Signature of Agent _____

OFFICE USE ONLY

File No. _____ Fee paid Yes () No () _____

Date _____ Approved _____ Disapproved _____

Chair, Valley Planning Commission.

Date _____ Approved _____ Disapproved _____

Mayor

Page 1 of 1

APPLICATION FOR PRELIMINARY PLAT

Valley, Nebraska

LEGAL DESCRIPTION AND GENERAL LOCATION

Part of the East Half of Section 25, Township 16 North,
Range 9 East of the 6th P.M., Douglas County, Nebraska
(see Plat for Full Legal Description) - 275th & Ida Street

SUBDIVIDER

Name: Gibbs Land Development LLC
Address: 4920 "K" Street Omaha, NE 68117

Telephone: 402 510-2537

OWNER

Name: SAME
Address:

Telephone: ()

CITY USE ONLY

RECEIPT NO: _____

DATE: _____

PRELIMINARY PLAT #: _____

FEE PAID \$ _____**AGENT** (Authorized to act on Subdivider's behalf):

Name: Lamp Rynearson, c/o Caleb Van Weelden
Address: 14710 W Dodge Road, Ste 100
Omaha, NE 68154

Telephone: () 402-496-2498

ANY OTHER ASSOCIATES:

Name: _____

Address: _____

Telephone: ()

NAME OF PRELIMINARY PLAT: Falcon Business Park II NUMBER OF LOTS: 30

1. Letter or transmittal and action(s) requested.

2. Does the subdivider have any interest in the land surrounding the preliminary plat? Yes No ☒ If yes, please describe the nature of such interest:3. Will the preliminary plat require any zoning or other action (rezoning, conditional use, or vacations) to complete the development? Yes No ☒ If yes, please describe the nature of the action:4. Does the preliminary plat deviate from the requirements of the Subdivision Regulations of the City of Valley or the City's Design Standards? Yes ☒ No ☐. If yes, please state each deviation, how the proposal meets the intent of the subdivision ordinance and why the proposal should be accepted (additional sheets may be added):

Each individual lot does not meet the required 25% pervious area. The development as a whole does meet the 25% required pervious area.

5. Is any part of the land within the preliminary plat within a flood plain? Yes ☒ No ☐. If yes, please include the following information: Hydrological and grade information to determine frequency and extent of inundation of flood waters; location of proposed use and type of use; areas of habitation and employment to include location, size and floor elevation of any structures, location and elevation of parking areas, use, location and elevation of open space; all plans and other information conform to Development Standards; limits of the flood plain; amount of Fill Material brought into the flood plain; a certificate that grading will not result in any increase in the flood plain. (additional sheets may be added).

Area is currently classified as Zone A0. Applicant will coordinate with City of Valley to submit LOMR-F.

Applicant's Signature: _____

Damian Willey

Date: _____

6/18/26

/age 1 of 4

PRELIMINARY PLAT APPLICANT'S TECHNICAL CHECKLIST

Valley, Nebraska

NAME OF PRELIMINARY PLAT: Falcon Business Park II

LOCATION OF SUCH PLAT: Hwy 275 & Ida Street

REQUIREMENTS OF PRELIMINARY PLAT

- ☐ Letter or transmittal with action requested.
- ☐ Name of Subdivision on each sheet
- ☐ Names and addresses of owners/applicants
- ☐ Names of adjacent property owners
- ☐ Name of engineer or surveyor
- ☐ Names of utility companies to be involved
- ☐ North arrow and graphic scale (according to sub-division regulations' specs)
- ☐ Date prepared
- ☐ A vicinity sketch at a scale no greater than one (1) inch = four hundred (400) feet and no smaller than one (1) inch = two thousand (2000) feet
- ☐ Sheet number and total number of sheets
- ☐ Contour lines (within and adjacent to subdivision, not greater than 2 feet intervals)
- ☐ Boundary lines of area to be subdivided and their bearings and distances, lot lines and lot numbers
- ☐ Is proposed use of preliminary plat in accordance with permitted City's zoning? Is a zoning action required?
- ☐ Existing and proposed streets or access easements to include:
 - ☐ R.O.W. width (according to future land use and transportation plans)
 - ☐ Paving width (according to future land use and transportation plans)
 - ☐ Approximate grades
 - ☐ Tangent length
 - ☐ Curve data and interior angle
 - ☐ Angle of Intersection
 - ☐ Name or number
- ☐ Sketch of future street system outside of plat where subdivision owns abutting land
- ☐ Utilities on and adjacent to the tract showing proposed connections to existing utilities. Rear easements for utility poles and wires shall be required whenever possible. All easements shall meet regulations set forth in subdivision regulations.
- ☐ Lot lines and dimensions; curvilinears should be noted as arc or chord
- ☐ Lot, block and outlot designation and total acreage of land to be subdivided and square feet in each lot
- ☐ Public areas for schools, parks, playgrounds or any other public uses
- ☐ All existing and proposed easements with locations, widths and distances
- ☐ All existing and proposed sidewalks, pedestrian ways and bikeways
- ☐ Location of all existing buildings and structures, easements, roads and major natural features on or within one hundred (100) feet of the boundaries of, within/adjacent to on or within one hundred (100) feet of the proposed subdivision. Any other interest in land surrounding the preliminary plat?
- ☐ Minimum building set back lines
- ☐ Erosion and sediment control plan
- ☐ Certified accurate survey by engineer or professional land surveyor
- ☐ All plans and other information conform to the City's General Requirements and Minimum Standards of Design
- ☐ Sketch of proposed subdivision sized 8 1/2 inches by 14 inches

PRELIMINARY PLAT APPLICANT'S TECHNICAL CHECKLIST (cont.)

Valley, Nebraska

ADDITIONAL INFORMATION (to be shown on Preliminary Plat or on accompanying sheets)

- ☐ Four (4) copies of Preliminary Plat and required supplementary material filed with City Clerk
- ☐ Submit plat thirty (30) days prior to the meeting of the Planning commission
- ☐ Copy of application, site plan, preliminary plat, etc to proper agencies and authorities for review
 - ☐ City Engineer
 - ☐ City Council
 - ☐ City Attorney
 - ☐ Fire Department
 - ☐ County Engineer
 - ☐ County Health Department
 - ☐ Adjacent jurisdictions
 - ☐ Papio-Missouri River NRD
 - ☐ NDOR
 - ☐ FEMA
 - ☐ Planning Commission
 - ☐ Traffic engineering
 - ☐ OPPD
 - ☐ Building and safety
 - ☐ School District
 - ☐ other
- ☐ Any required landscape screens
- ☐ Copies of proposed Deed Restrictions, if any
- ☐ Sketch plan of larger tract and future concepts of development, if part of a larger tract that will be subdivided in the future

IF PLAT IS LOCATED WITHIN THE FLOOD PLAIN

- ☐ Hydrological and grade information to determine frequency and extent of inundation of flood waters
- ☐ Location of proposed use and type of use
- ☐ Areas of habitation and employment to include:
 - ☐ Location size and floor elevation of any structures
 - ☐ Location and elevation of parking areas
 - ☐ Use, location and elevation of open space
- ☐ Limits of the flood plain
- ☐ Amount of Fill Material brought into the flood plain
- ☐ A certificate that grading will not result in any increase in the flood plain

ANY OTHER INFORMATION OR COMMENTS RELATED TO THE PRELIMINARY PLAT:

(Please use additional sheet if necessary)

Section 3.03 Preliminary Plat Specifications.

The Preliminary Plat shall be drawn to a scale of at least one inch to 100 feet with a sheet size not to exceed 42"x30" and shall be plainly marked "Preliminary Plat" and shall include, show, or be accompanied by the following information:

- 3.03.01 A location map showing the general location of the proposed subdivision in relation to surrounding developments with a north arrow, scale and legend.
- 3.03.02 Both existing and proposed grades shall be shown.
- 3.03.03 Phasing lines shall be delineated on the plat and a phasing schedule, if developed in phases.
- 3.03.04 The proposed name of the subdivision which must not be as similar to that of an existing subdivision as to cause confusion. The developer shall verify the name with Douglas County.
- 3.03.05 The proposed names and addresses of the owner and subdivider; the engineer, surveyor, or landscape architect responsible (all of which are licensed to practice in Nebraska) for the subdivision layout.
- 3.03.06 The legal description of the area being platted, and boundary line (accurate in scale) and dimensions, and the location of monuments found or set, section lines, existing and the approximate acreage of the proposed development. All work shall be certified by a Registered Land Surveyor in the State of Nebraska.

- 3.03.07 Width and location of platted streets and alleys within 200 feet of the property; physical features of the property, including location of water courses, ravines, bridges, culverts, present structures and other features affecting the subdivision; contours with intervals of five feet or less; the location of all existing utilities with their sizes indicated, as well as flow lines; elevations of existing sanitary and storm sewer, the outline of wooded areas (the location of important individual trees may be required).
- 3.03.08 Location and name(s) of adjoining subdivision(s) or undeveloped land and owners and persons having ownership interest within 300 feet of the subject property (not including streets and right-of-ways). This should be submitted in list form and as mailing labels.
- 3.03.09 The proposed lot layout, lot and block numbers and approximate lot dimensions and square footage and grounds proposed to be dedicated for public use, such as schools, parks, pathways, playgrounds and streets.
- 3.03.10 The location and width of proposed streets, all easements including buffer easements, building setback lines, Rights of Way, corner radii, pavement width, thickness and type, sidewalks, alleys, location of all proposed improvements including: sanitary sewers, water mains, storm water drainage and other features and improvements required by this ordinance.
- 3.03.11 Easements for public utility and rights-of-way purposes. The book and page number of existing easements shall be labeled on the plan and any private easements should be labeled as such.
- 3.03.12 Both existing and proposed grades shall be shown.
- 3.03.13 All established floodway, floodway-fringe, and flood plain overlay lines.
- 3.03.14 The existing zoning classification and proposed uses of land within the proposed subdivision shall also be designated.
- 3.03.15 Three copies of a draft erosion control plan. Grading activities shall not proceed until said plan has been approved by the State of Nebraska and the Papio-Missouri River Natural Resources District and a copy of said approvals have been submitted to the City.
- 3.03.16 Three copies of a draft erosion control plan. Grading activities shall not proceed until said plan has been approved by the State of Nebraska and the Papio-Missouri River Natural Resources District and a copy of said approval has been submitted to the City.
- 3.03.17 Signature block indicating approval of the Planning Commission per Section 10.03
- 3.03.18 Signature block indicating approval of the City Engineer per Section 10.07
- 3.03.19 Requests for waivers of design standards.
- 3.03.20 Traffic impact analysis study may be required by the City Engineer.
- 3.03.21 Four copies of the following to the City for review at the time of pre-plat submittal :
1. A preliminary sanitary sewer plan.
 2. A preliminary drainage study, within the subdivision.
 3. A preliminary street profile plan with a statement of proposed street improvements.

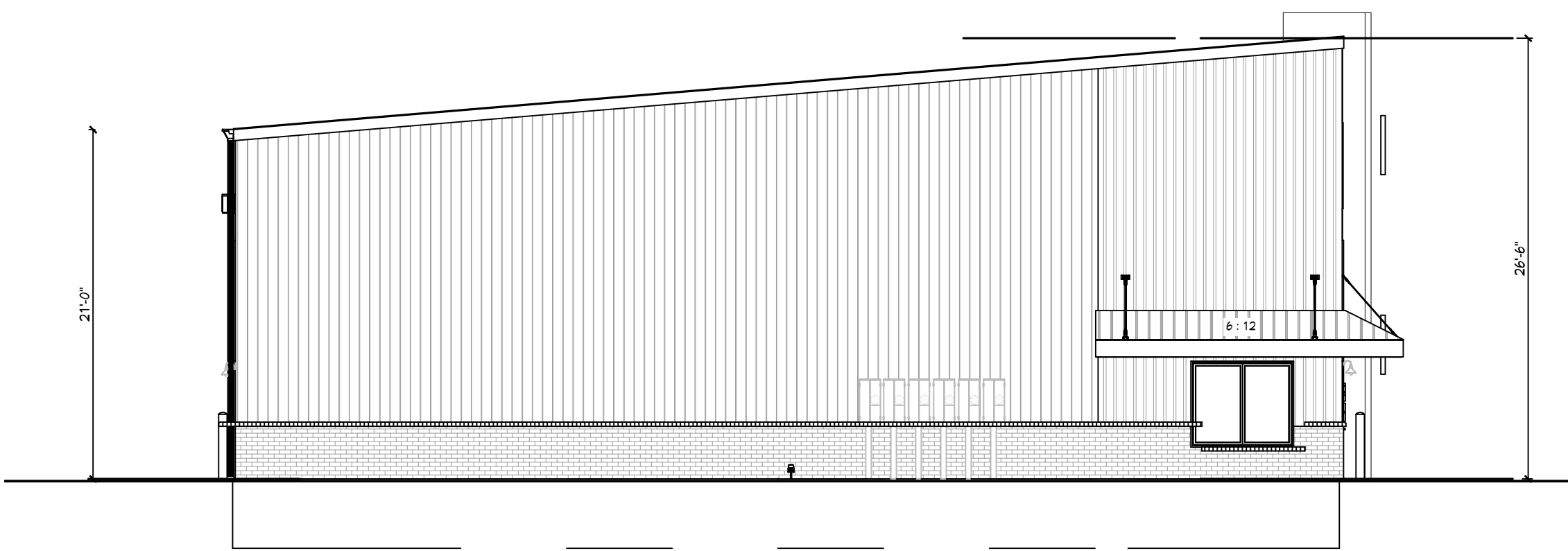
Applicant's Signature(s):

Damian Willey

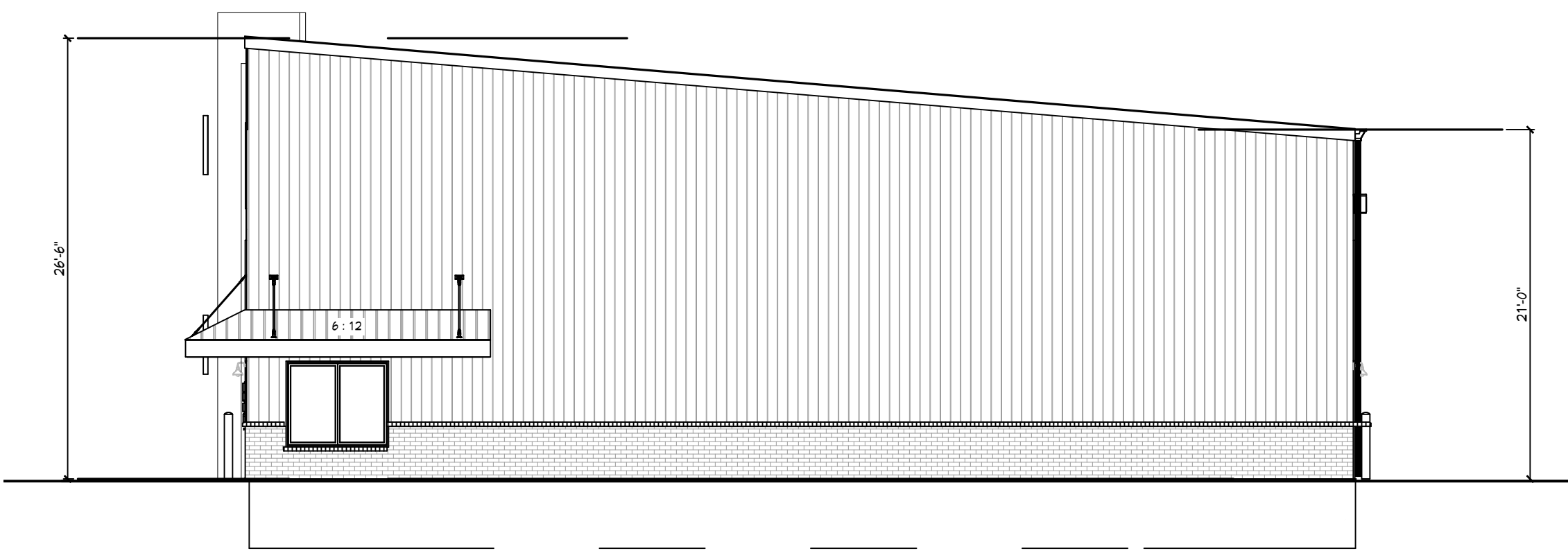
Date: 6/18/26



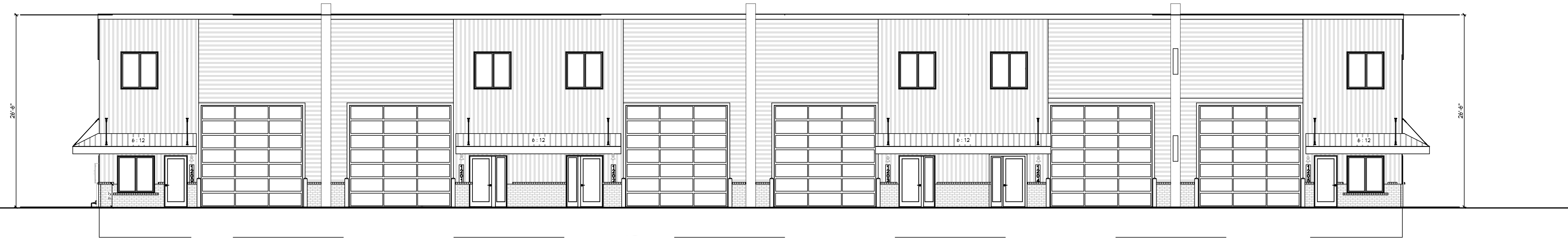
REAR ELEVATION
1/8"=1'-0"



LEFT ELEVATION
1/8"=1'-0"



RIGHT ELEVATION
1/8"=1'-0"



FRONT ELEVATION
1/8"=1'-0"

REVISED:

PROJECT: VALLEY NORTH, 1st PHASE

PROJECT LOCATION:

DATE: 7/21/2026

SCALE: NOTED

THIS PAGE: EXTERIOR ELEVATIONS

SHEET 2

of

7 SHEETS

NOTE: PROVIDE FIRE
PROTECTION FOR FLOOR
ASSEMBLY OVER BASEMENTS
PER SECTION R302.13 OF 2018 IRC

REVISED:

PROJECT: VALLEY NORTH, 1st PHASE

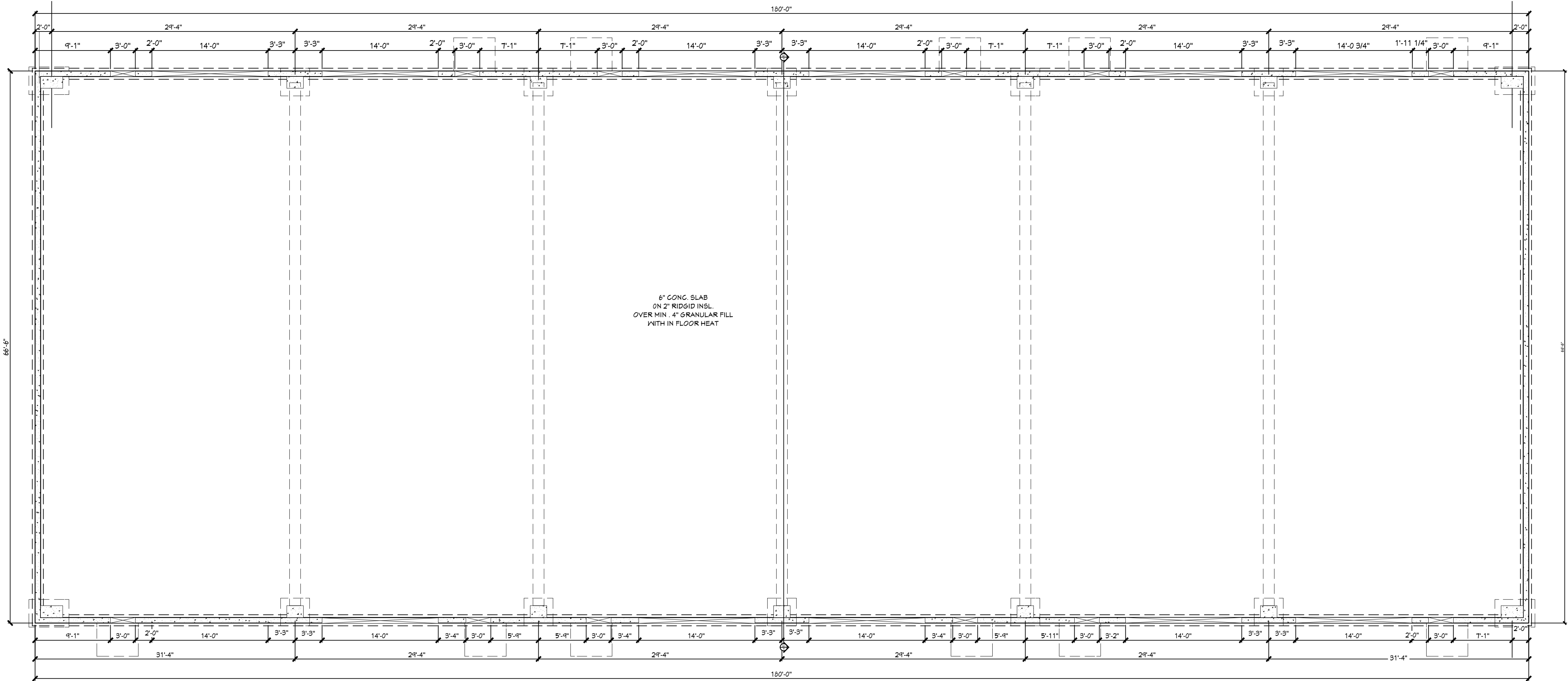
PROJECT
LOCATION:

DATE: 7/21/2026 SCALE: NOTED

THIS PAGE: FOUNDATION PLAN

WALL LEGEND	
4" WALL	
6" WALL	
4" FIRE OUT WALL	
FIRE WALL	
RIBBED METAL WALL	
FOUNDATION WALL	

NOTE: FIREWALL
3 5/8" STEEL STUDS @ 24" O.C.
1/4" TYPE X DRYWALL EA. SIDE



FOUNDATION PLAN
1/8"=1'-0"

UNO: WALL BRACING PER
TABLE R602.10.5 OF 2018 IRC.

NOTE: ROOF / CEILING CONSTRUCTION
TO COMPLY WITH ALL PROVISIONS OF
CHAPTER 8 AND OTHER REFERENCED
CHAPTERS PER 2018 IRC.

REVISED:

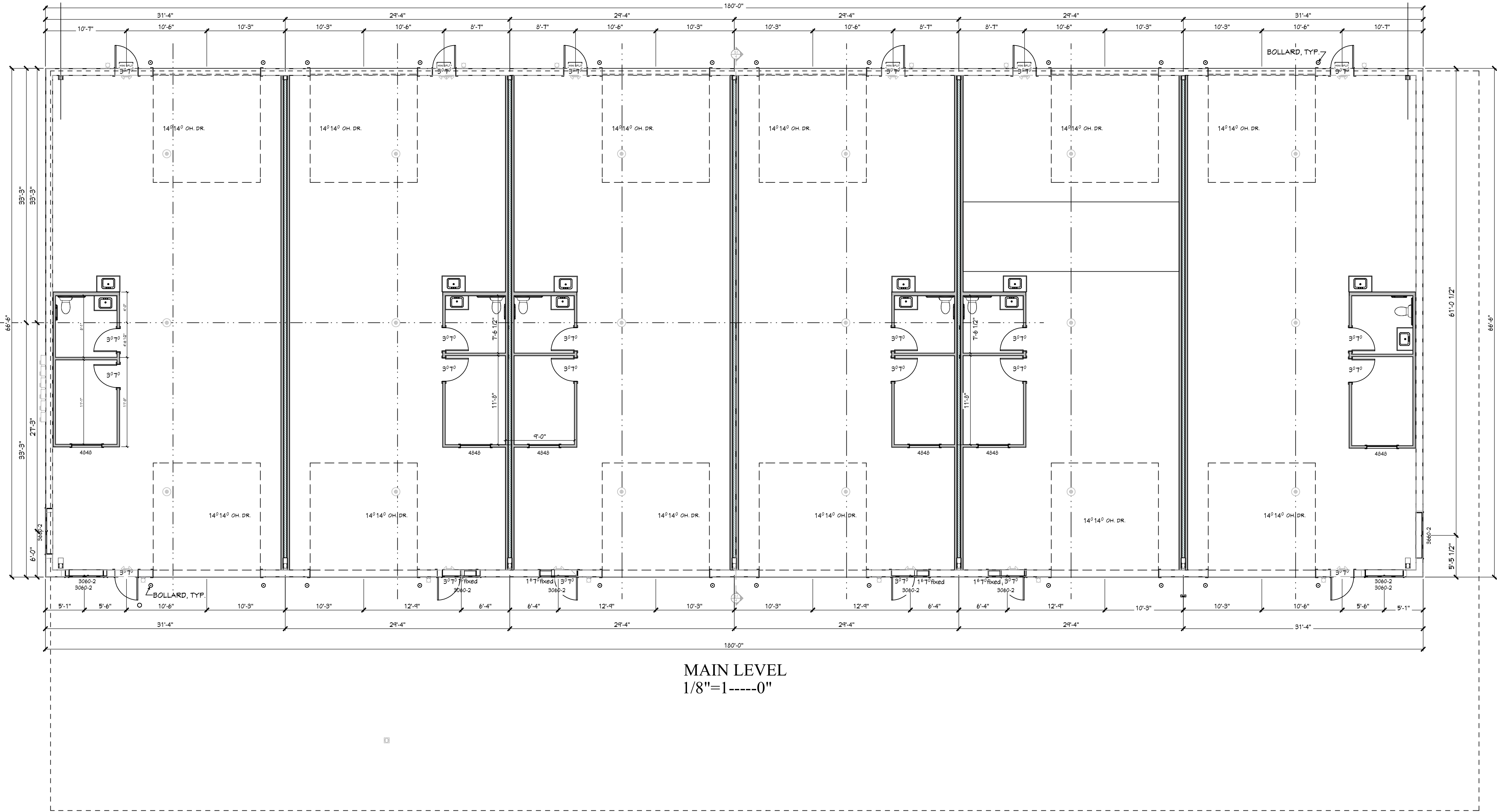
PROJECT: VALLEY NORTH, 1st PHASE

PROJECT LOCATION:
DATE: 7/21/2026
SCALE: NOTED

THIS PAGE: FLOOR PLAN

WALL LEGEND	
4" WALL	
6" WALL	
4" FIREWALL	
6" FIREWALL	
FOUNDATION WALL	

NOTE: FIREWALL
3 5/8" STEEL STUDS @ 24" O.C.
W/ 5/8" TYPE X DRYWALL EA. SIDE



MAIN LEVEL
1/8"=1'-0"



REVISED:

PROJECT: VALLEY NORTH, 1st PHASE

PROJECT
LOCATION:

DATE: 7/21/2026 SCALE: NOTED

THIS PAGE:

SECTION



REVISED:

PROJECT: VALLEY NORTH, 1st PHASE

PROJECT
LOCATION:

DATE: 7/21/2026

SCALE: NOTED

THIS PAGE:



REVISED:

PROJECT: VALLEY NORTH, 1st PHASE

PROJECT
LOCATION:

DATE: 7/21/2026

SCALE: NOTED

THIS PAGE:



EAGLE ENGINEERING GROUP

12100 West Center Road, Suite 803 Omaha, Nebraska 68144
(402) 399-0227 | www.eagleengineeringgroup.com

July 17, 2026

Larry Bottger, Chairman
Planning Commission
CITY OF VALLEY
203 North Spruce Street
Valley, Nebraska 68064

Re: Falcon Business Park II Preliminary Plat and Final Plat Submittal
West Street and Nebraska Highway 64
Valley, Nebraska
EEG #26-03-09

Dear Mr. Bottger:

We offer the following review comments related to the Developers' Preliminary Plat and Final Plat submittal dated June 18th for the Falcon Business Park II development located on northeast corner near the intersection of West Street and Nebraska Highway 64:

Preliminary Plat

1. Add a Note: No direct vehicular access to Nebraska Highway 64 or US Highway 275 will be allowed.
2. Revise the curved lot line to straight between Lots 5-10 and 19-22.
3. Permanent sanitary sewer and water main easements will be provided by the City Engineer for reference on the final plat.
4. Lot 28 will be phase 2 of the overall development. Provide a preliminary plat exhibit for the division of Lot 28 for the building layouts for reference and utility coordination.

Final Plat

1. Revise the curved lot line to straight between Lots 5-10 and 19-22.
2. Permanent sanitary sewer and water main easements will be provided by the City Engineer for reference on the final plat.
3. Remove Lot 28 that will be part of phase 2 of the overall development from the final plat.
4. Update N. 276th Street to N. 276th Circle.

Zoning

1. The property is currently zoned C-3 Highway Commercial. The proposed use of contractor trade shops or utility contractors is allowed on the City's land use matrix of the Zoning Ordinance. The current zoning

Sanitary Sewer and Water Main

1. The City Engineer will provide the gravity sanitary sewer location and water main locations within the development.

Grading and Drainage

1. Phase 1 runoff is being conveyed to the drainage ditch along Highway 64 and Highway 275. Phase 2 runoff will be conveyed to the storm sewer along N. 276th Circle.
2. Drainage improvements along N. 276th Circle will be part of Phase 2 (Lot 28) of the overall development.

General Items

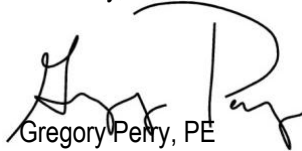
1. The development will submit for a building permit to comply with the commercial design standards for the building exterior and also include site plan review for light spill.



2. The property is located within the Zone 'AO' special flood hazard area (SFHA) as delineated by FEMA and a floodplain development permit will be required. The property has been previously filled with the Highway 275 bypass project and initial Falcon Business Park development.
3. The Development shall confirm with Douglas County Emergency Management Agency (DC EMA) for adequate outdoor warning siren coverage (#104 & #105).
4. Phase 2 will provide a second point of access from the N. 276th Circle cul-de-sac to the development.

I will be available to answer any questions that you may have prior to the Planning Commission meeting on July 21, 2026.

Sincerely,



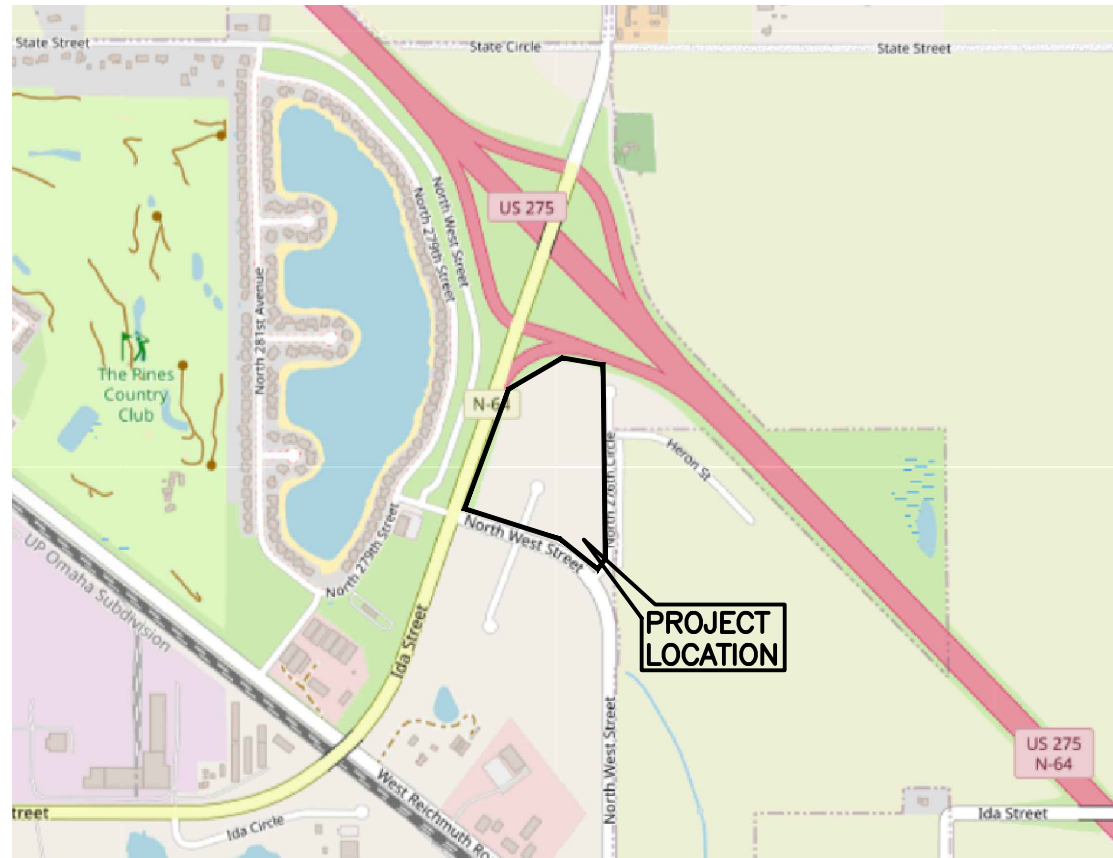
Gregory Perry, PE
City Engineer

cc: Mike Gorman, City Administrator
Gabe Evans, Building Inspector
Caleb Van Weelden, PE Lamp Ryneerson

FALCON BUSINESS PARK II

LOTS 1 THROUGH 28, INCLUSIVE, AND OUTLOTS A & B
BEING A PLATTING OF PART OF THE EAST HALF OF SECTION 25, TOWNSHIP 16 NORTH,
RANGE 9 EAST OF THE 6TH P.M., DOUGLAS COUNTY, NEBRASKA

LOCATED IN:
SE 1/4, NE 1/4, SEC. 25-16-09
NE 1/4, SE 1/4, SEC. 25-16-09



VICINITY MAP

LAND SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAND SURVEYOR'S REGULATION ACT THAT THIS PLAT, MAP, SURVEY OR REPORT WAS MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT IT WAS PERFORMED IN ACCORDANCE WITH THE LAND SURVEYOR'S REGULATION ACT IN EFFECT AT THE TIME OF THE SURVEY AND TO THE BEST OF MY KNOWLEDGE AND BELIEF IS TRUE AND CORRECT AND THAT PERMANENT MONUMENTS HAVE BEEN PLACED AT ALL CORNERS, ANGLE POINTS AND ENDS OF CURVES ON THE BOUNDARY ON THE LOT AND THAT PERMANENT MONUMENTS (5/8" REBAR W/ 1 1/4" YELLOW PLASTIC CAPS STAMPED PLS-498) WILL BE PLACED AT ALL CORNERS, ANGLE POINTS AND ENDS OF CURVES ON ALL LOTS AND STREETS WITHIN THE SUBDIVISION TO BE KNOWN AS FALCON BUSINESS PARK II, LOTS 1 THROUGH 28, INCLUSIVE, AND OUTLOTS A & B, BEING A PLATTING OF PART OF THE EAST HALF OF SECTION 25, TOWNSHIP 16 NORTH, RANGE 9 EAST OF THE 6TH P.M., DOUGLAS COUNTY, NEBRASKA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF THE SOUTHEAST QUARTER OF SAID SECTION 25; THENCE SOUTH 89°49'43" WEST (BEARINGS REFERENCED TO THE FALCON BUSINESS PARK FINAL PLAT) FOR 40.00 FEET ON THE NORTH LINE OF SAID SOUTHEAST QUARTER TO THE WEST RIGHT OF WAY LINE OF 276TH STREET, THIS BEING THE TRUE POINT OF BEGINNING;

THENCE SOUTH 00°21'00" EAST FOR 608.16 FEET ON SAID WEST RIGHT OF WAY LINE TO THE NORTHEAST CORNER OF FALCON BUSINESS PARK AS SURVEYED, PLATTED AND RECORDED IN SAID SECTION 25;

THENCE SOUTH 89°39'00" WEST FOR 10.00 FEET ON SAID WEST RIGHT OF WAY LINE TO THE NORTHEAST CORNER OF LOT 1, OF SAID FALCON BUSINESS PARK;

THENCE NORTH 72°09'04" WEST FOR 458.42 FEET ON THE NORTH LINE OF LOTS 1 AND 2, OF SAID FALCON BUSINESS PARK TO THE NORTHEAST CORNER OF SAID LOT 2;

THENCE ON A CURVE TO THE RIGHT (HAVING A RADIUS OF 25.00 FEET AND A LONG CHORD BEARING NORTH 47°24'24" EAST FOR 19.02 FEET) FOR AN ARC LENGTH OF 19.51 FEET ON THE CULDESAC RIGHT OF WAY LINE OF 277TH STREET CIRCLE;

THENCE ON A CURVE TO THE LEFT (HAVING A RADIUS OF 60.00 FEET AND A LONG CHORD BEARING NORTH 69°55'00" WEST FOR 77.65 FEET) FOR AN ARC LENGTH OF 292.54 FEET CONTINUING ON SAID CULDESAC RIGHT OF WAY LINE;

THENCE ON A CURVE TO THE RIGHT (HAVING A RADIUS OF 25.00 FEET AND A LONG CHORD BEARING SOUTH 04°45'23" EAST FOR 21.00 FEET) FOR AN ARC LENGTH OF 21.68 FEET CONTINUING ON SAID CULDESAC RIGHT OF WAY LINE TO THE NORTHEAST CORNER OF LOT 3, OF SAID FALCON BUSINESS PARK;

THENCE NORTH 72°10'43" WEST FOR 374.86 FEET ON THE NORTH LINE OF SAID LOT 3 TO THE NORTHWEST CORNER OF SAID LOT 3;

THENCE NORTH 21°32'10" EAST FOR 258.70 FEET ON THE STATE OF NEBRASKA HIGHWAY RIGHT OF WAY LINE AS DESCRIBED AND RECORDED IN DEED BOOK 2089, PAGE 232, OF THE DOUGLAS COUNTY REGISTER OF DEEDS RECORDS;

THENCE CONTINUING ON SAID STATE OF NEBRASKA HIGHWAY RIGHT OF WAY LINE FOR THE FOLLOWING SIX COURSES;

1. NORTH 27°38'08" EAST FOR 103.39 FEET;
2. NORTH 24°31'12" EAST FOR 62.40 FEET;
3. NORTH 22°52'58" EAST FOR 213.88 FEET;
4. NORTH 58°35'26" EAST FOR 394.22 FEET;
5. SOUTH 79°23'47" EAST FOR 240.29 FEET;
6. SOUTH 01°47'25" EAST FOR 222.90 FEET;

THENCE NORTH 89°28'21" EAST FOR 20.55 FEET ON SAID STATE OF NEBRASKA HIGHWAY RIGHT OF WAY LINE TO A POINT ON THE WEST RIGHT OF WAY LINE OF 276TH STREET;

THENCE SOUTH 00°19'06" EAST FOR 184.41 FEET ON SAID WEST RIGHT OF WAY LINE TO THE POINT OF BEGINNING.

CONTAINS 14.034 ACRES.

DANNY JOE W. MARTINEZ, PLS-498

DATE

DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: THAT WE, GIBBS LAND DEVELOPMENT, LLC, OWNERS AND LAND SURVEYOR'S CERTIFICATE AND EMBRACED WITHIN THIS PLAT, HAVE CAUSED SAID LAND TO BE SUBDIVIDED INTO LOTS TO BE NUMBERED AS SHOWN HEREON, SAID SUBDIVISION TO BE HEREAFTER KNOWN AS FALCON BUSINESS PARK II, LOTS 1 THROUGH 28, INCLUSIVE, AND OUTLOTS A & B; DO HEREBY RATIFY AND APPROVE OF THE DISPOSITION OF OUR PROPERTY AS SHOWN ON THIS PLAT.

GIBBS LAND DEVELOPMENT, LLC, OWNER

PRINTED NAME SIGNATURE

PRINTED TITLE

MORTGAGEE

PRINTED NAME SIGNATURE

PRINTED TITLE

DOUGLAS COUNTY ENGINEER REVIEW

LAMP
RYNEARSON

LAMP RYNEARSON.COM

OMAHA, NEBRASKA
14710 W. DODGE RD. STE. 100 (402) 496-2498
NE AUTHORIZATION NO.: CAD130
FORT COLLINS, COLORADO
4716 INNOVATION DR. STE. 100 (970) 226-0342
KANSAS CITY, MISSOURI
8001 STATE LINE RD. STE. 200 (816) 361-0440
MO AUTH. NO.: E-2013011903 LLS-2013043127

FINAL
PLAT

FALCON BUSINESS PARK II
VALLEY, DOUGLAS COUNTY, NEBRASKA



Know what's below.
Call before you dig.

REVISIONS

DESIGNER / DRAFTER

DAN MARTINEZ / RACHEL RENNECKER

DATE

6/19/2026

PROJECT NUMBER

0126053

BOOK AND PAGE

SHEET

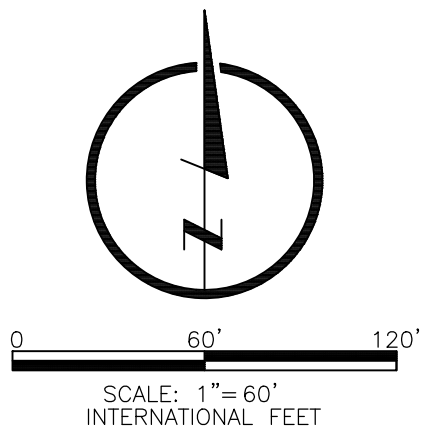
1 OF 1

PARCEL AREA TABLE		PARCEL AREA TABLE	
PARCEL #	AREA (SF)	PARCEL #	AREA (SF)
1	4581	19	6646
2	4610	20	6483
3	4639	21	10686
4	4668	22	10519
5	4697	23	5787
6	5944	24	5516
7	6074	25	5338
8	4934	26	5273
9	4802	27	5325
10	7698	28	387491
11	7741		
12	8760		
13	8322		
14	6591		
15	6240		
16	5889		
17	5538		
18	5379		

OUTLOT AREA TABLE	
PARCEL #	AREA (SF)
A	22329
B	32828

NOTES

1. ALL DISTANCES ARE SHOWN IN DECIMAL FEET.
2. ALL DISTANCES SHOWN ALONG CURVES ARE ARC DISTANCES NOT CHORD DISTANCES.
3. LOTS 1 THROUGH 18 AND LOT 28 WILL HAVE NO DIRECT VEHICULAR ACCESS TO IDA STREET AND U.S. HWY 275.
4. OUTLOTS ARE FOR SITE CIRCULATION.
5. ALL EXISTING EASEMENTS ARE NOT BEING REDEDICATED AND ARE SHOWN FOR REFERENCE ONLY.
6. ALL PROPOSED EASEMENTS WILL BE RECORDED VIA SEPARATE RECORDED INSTRUMENTS.
7. NEW EASEMENTS SHOWN HEREON MAY BE SUBJECT TO CHANGE. REFER TO THE FINAL EASEMENT RECORDED DOCUMENT FOR THE OFFICIAL LOCATION.



LEGEND

- BOUNDARY LINE
- LOT LINE
- EXISTING LOT LINE
- SECTION LINE
- MONUMENT SET (5/8" REBAR W/ 1 1/4" YPC STAMPED LLS-498)
- MONUMENT FOUND (5/8" REBAR) UNLESS OTHERWISE NOTED
- SECTION CORNER
- RECORD DIMENSION

APPROVAL OF VALLEY CITY PLANNING COMMISSION

APPROVAL OF THE PLANNING COMMISSION OF VALLEY, NEBRASKA

THIS FINAL PLAT OF FALCON BUSINESS PARK II, LOTS 1 THROUGH 28, INCLUSIVE, AND OUTLOTS A & B, WAS APPROVED BY THE VALLEY PLANNING COMMISSION THIS

DAY OF , 20

CHAIRMAN OF PLANNING COMMISSION

ACCEPTANCE BY VALLEY CITY COUNCIL

ACCEPTANCE BY VALLEY CITY COUNCIL OF

THIS FINAL PLAT OF FALCON BUSINESS PARK II, LOTS 1 THROUGH 28, INCLUSIVE, AND OUTLOTS A & B, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF VALLEY, NEBRASKA ON THIS

DAY OF , 20

IN ACCORDANCE WITH THE STATE STATUTES OF NEBRASKA.

MAYOR (CITY OF VALLEY SEAL)

ATTEST CITY CLERK

ACCEPTANCE BY VALLEY CITY ENGINEER

THIS FINAL PLAT OF FALCON BUSINESS PARK II, LOTS 1 THROUGH 28, INCLUSIVE, AND OUTLOTS A & B, WAS REVIEWED AND APPROVED BY THE VALLEY CITY ENGINEER ON THIS

DAY OF , 20

VALLEY CITY ENGINEER

COUNTY TREASURER'S CERTIFICATE

THIS IS TO CERTIFY THAT I FIND NO REGULAR NOR SPECIAL TAXES DUE OR DELINQUENT AGAINST THE PROPERTY DESCRIBED IN THE LAND SURVEYOR'S CERTIFICATE AND EMBRACED IN THIS PLAT, AS SHOWN BY THE RECORDS OF THIS OFFICE, THIS

DAY OF , 20

DOUGLAS COUNTY TREASURER

ACKNOWLEDGEMENT OF NOTARIES

STATE OF NEBRASKA)

SS

COUNTY OF)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

DAY OF , 20

BY (PRINTED NAME) (PRINTED TITLE)

OF GIBBS LAND DEVELOPMENT, LLC, ON BEHALF OF SAID COMPANY.

SIGNATURE OF NOTARY PUBLIC

STATE OF NEBRASKA)

SS

COUNTY OF)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS

DAY OF , 20

BY (PRINTED NAME) (PRINTED TITLE)

OF , ON BEHALF OF SAID BANK.

SIGNATURE OF NOTARY PUBLIC

APPLICATION FOR FINAL PLAT

Valley, Nebraska

LEGAL DESCRIPTION AND GENERAL LOCATION

Part of the East Half of Section 25, Township 16 North,
Range 9 East of the 6th P.M., Douglas County, Nebraska
(see Plat for full Legal Description) - 275th and Ida Street

SUBDIVIDERName: Gibbs Land Development LLCAddress: 4920 "K" Street Omaha, NE 68117Telephone: (402) 510-2537**OWNER**Name: SAME

Address: _____

Telephone: () _____

RECEIPT NO: _____

DATE: _____

FINAL PLAT #: _____

FEE PAID \$ _____

AGENT (Authorized to act on Subdivider's behalf):Name: Lamp Rynearson, c/o Caleb Van WeeldenAddress: 14710 W Dodge Road, Ste. 100Omaha, NE 68154Telephone: (402) 496-2498**ANY OTHER ASSOCIATES:**

Name: _____

Address: _____

Telephone: () _____

NAME OF FINAL PLAT: Falcon Business Park II, Lots 1-28, NUMBER OF LOTS: 30
Outlots A & B

1. Letter or transmittal and action(s) requested.
2. Does the subdivider have any interest in the land surrounding the final plat? Yes ___ No X.
If yes, please describe the nature of such interest: _____
3. Will the final plat require any zoning or other action (rezoning, conditional use or vacations) to complete the development? Yes ___ No X. If yes please describe the nature of the action: _____
4. The final plat is based upon the preliminary plat for Falcon Business Park II, approved by the City Council on _____, 20____, Resolution No. _____ Preliminary and Final plats submitted concurrently
5. Is the final plat consistent with the approved preliminary plat? Yes X No ___. If not, please explain the proposed changes and the reasons therefore:
Preliminary and Final plats submitted concurrently
6. Have all the improvements required by the preliminary plat been completed or guaranteed by bond, letter of credit, etc.? Yes No X (Please check the Planning Commission's letter indicating the approval of the preliminary plat.) If not, which improvements have not been completed:
Preliminary and Final plats submitted concurrently. Improvements required by the plat are unknown at the time of submittal.

Applicant's Signature: _____

Damian Willey

Date: _____

6/18/26

FINAL PLAT APPLICANT'S TECHNICAL CHECKLIST

Valley, Nebraska

NAME OF FINAL PLAT: Falcon Business Park II

LOCATION OF SUCH PLAT: Hwy 275 and Ida Street

REQUIREMENTS OF FINAL PLAT

- ☐ Letter or transmittal with action requested.
- ☐ Name of subdivision
- ☐ Complete drawing on one sheet if possible
- ☐ Drawn in ink or photographed on Mylar
- ☐ Signatures in black opaque ink
- ☐ Blank margin of ½ inch and outline
- ☐ Scale of one (1) inch equals ten (10) feet or sufficient to show all required information clearly
- ☐ Number and total number of sheets - index sheet if more than two sheets
- ☐ Boundary of the subdivision shall be indicated
- ☐ Vicinity Map
- ☐ Sketch of proposed subdivision sized 8 ½ inches by 14 inches

CERTIFICATES AND ACKNOWLEDGMENTS

- ☐ Owner's acknowledgment and offer of dedication by all parties having titled interest or lien upon the lands
- ☐ Surveyor's certificate with legal description written in meets and bounds
- ☐ Planning Commission acceptance certificate
- ☐ Acknowledgment by Notary
- ☐ City Council acceptance and acceptance certificate
- ☐ Certificate of acceptance by City Engineer
- ☐ Certification of acceptance by the City Enforcement officer, when individual sewage disposal or water systems are to be installed
- ☐ Certification by the Mayor and City Clerk that plat is accepted for recording by County Register of Deeds
- ☐ Certification that the Subdivider has complied with one of the following alternatives:
 - ☐ Improvements have been installed in accordance with requirements of the subdivision ordinance
 - ☐ A security bond or certified check filed with the City
 - ☐ Subdivision Improvements Agreement along with sufficient surety has been filed
- ☐ All affidavits, certificates, acknowledgments, endorsements, dedications, and notarial seals as are required by Law and the provisions of the zoning ordinance and subdivision regulations.

DATA REQUIRED ON THE FINAL PLAT

- ☐ Sufficient data to determine all existing and placed stakes and to locate and retrace all lots, blocks, and parcels, Include:
 - ☐ Bearings of lines
 - ☐ Radii, arcs and central angles of all curves with dimensions to the nearest second
- ☐ All dimensions shall be to the nearest .01 of a foot
- ☐ Meets or exceeds the "minimum standards of surveys"
- ☐ Location and description of monuments
- ☐ Lot numbers, square footage, outlot, block dimensions, and frontage dimensions
- ☐ Lot, outlot, and block identification system
- ☐ Areas reserved for public use - must clearly identify which are private and which are public
- ☐ If park land for use of public, must have an outlot letter and be included in the dedication
- ☐ If park land is private, must state so and provide maintenance agreement

FINAL PLAT APPLICANT'S TECHNICAL CHECKLIST (cont.)

Valley, Nebraska

- ☐ Purpose for which other than residential lots are dedicated or reserved
- ☐ Minimum building set back lines
- ☐ Locations and names of adjoining subdivisions and streets, adjoining unplatted properties with names and addresses of adjoining owners of unplatted properties.
- ☐ Abutting streets, cul-de-sacs and alleys, whether public or private, must include the following:
 - ☐ Location
 - ☐ Names
 - ☐ Centerline
 - ☐ Centerline radius
 - ☐ Length and interior angle of horizontal curves
 - ☐ Tangent length
 - ☐ Right-of-Way and paving widths (according to sub-division regulations, future land use and transportation plans)
- ☐ Location, width and purpose of all easements (according to sub-division regulations)
- ☐ Location and identification of all section corners
- ☐ Total number of lots, outlots, and total number of acres in subdivision
- ☐ Cross-sections, profiles and grades of streets, gutters, curbs and sidewalks; with locations of all "in street utilities" - drawn to City standards
- ☐ Protective covenants, when required
- ☐ Any interest in the land surrounding the plat
- ☐ Changes in zoning that may have been or need to; Submit zoning / rezoning form

REQUIRED ON EACH SHEET

- ☐ Name of Subdivision
- ☐ Scale
- ☐ North arrow and graphic scale
- ☐ Date
- ☐ Sheet number and total number of sheet comprising the subdivision
- ☐ Location of Subdivision (first sheet only)

DOCUMENTS REQUIRED

- ☐ Tax payment status form
- ☐ Special assessment status form
- ☐ Certificates of Title or Title Opinion
- ☐ Private restrictions or covenants, if necessary
- ☐ Prior to approval by the City Council, at least three signed reproducible copies (Mylar) of the final plat (2) 18" x 24", and one full size mylar with two additional signed copies. Copies of the original shall be prepared as specified in this Ordinance.
 - [] City Engineer
 - [] City Council
 - [] City Attorney
 - [] Fire Department
 - [] County Engineer
 - [] County Health Department
 - [] Adjacent jurisdictions
 - [] Papio-Missouri River NRD
 - [] NDOR
 - [] Planning Commission
 - [] Traffic engineering
 - [] OPPD
 - [] Building and safety
 - [] School District
 - [] other

CONFORMS TO APPROVED PRELIMINARY PLAT

- ☐ Meets and bounds description
- ☐ Lot dimensions and configurations
- ☐ Street names
- ☐ Street alignment
- ☐ Reasons for differences

FINAL PLAT APPLICANT'S TECHNICAL CHECKLIST (cont.)

Valley, Nebraska

ANY OTHER INFORMATION OR COMMENTS RELATED TO THE FINAL PLAT:

(Please use additional sheet if necessary)

Applicant's Signature(s):

Damian Willey

Date: 6/18/26